



## TCMC Parking Structure and Main Entry

06/26/2018

### ADDENDUM #3

The following items are issued as part of this Addendum:

1. Provide response to RFI's submitted.
2. Letter of Credit and Bond Templates
3. Provide updated Phasing Plan.
4. Provide updated Landscape Sheet L5.

**TCMC Parking Structure and Main Entry RFI Responses**

<b>RFI#</b>	<b>Question:</b>	<b>Response:</b>
001	Are we tying into an existing fire alarm and security system? If so, what type of systems are they?	There is no existing security system to tie into. Stand Alone Fire Alarm System
002	Request for bids section IFB-36 Listing Subcontractors states to provide location of place of business for each subcontractor. Is it acceptable to just list the city?	Providing just the city is acceptable.
003	Please specify the angle of the "field of view" for the security cameras. Are the the lenses vari-focal?	Specifications call for varifocal lens.
004	A traction elevator is specified but a hydraulic elevator would be much more cost effective. Would there be an opportunity to propose an alternate?	Addendum #2 - KONE proposal to be used by bidders
005	Will the use "ENT" conduit in concrete slabs above grade be acceptable?	No electrical conduit to be installed in slab.
006	It was mentioned at the mandatory job walk that painting the exterior of the parking garage may be an alternate. Please clarify.	Bid form will be updated per Addendum #3 to have exterior painting to be provided as alternate. Alternate pricing to be inclusive of all that is required to paint the exterior such as preparation of exterior to receive paint and protection of surrounding areas.
007	Will GE gear be an acceptable manufacturer for the switchgear / transformers?	GE is an acceptable manufacturer, contractor shall ensure GE electrical equipment will fit within the electrical room with all required clearances.
008	Regarding fire sprinklers, what authority has jurisdiction and who will be review it?	No fire sprinklers proposed. Deferred submittals for standpipes and underground fire line are required. City of Oceanside to approve as deferred approval
009	The standpipe locations detail on Pg. A0.03 reflects providing a Class II Standpipe system which is 1.5" inch fire hose valves with 100 ft. of lined fire hose but Page MP2.01 indicates providing a Class I Standpipe system with exposed rough brass finish 2.5" Fire Hose Valves with cap and chain- Please clarify the scope of work we are to provide for fire suppression in the structure ( Class I or Class II ) standpipe system ?	Dufoe. Class I wet Standpipe system. City of Oceanside will need to review and approve a standpipe plan
010	Please verify that plan submittals will be to the Oceanside Fire Department and not OSHPD for approvals ?	City of Oceanside only.
011	Request for Bids section IFB-9 Required bonds states that we're required to furnish a payment and performance bond for 100% of the contract price. Please clarify if this is the intent?	Confirmed that all requirements of IFB-9 are to be followed as stated.
012	It was mentioned that elevator was TBD and that cost would be given to contractor. Please provide contact information for elevator.	Addendum #2 - KONE proposal to be used by all bidders. KONE proposal includes spec changes such as installing two KONE MonoSpace500 elevators in-lieu of Otis Gen II MRL's, 24 months of warranty in-lieu of 12 months, and no additional maintenance agreement in-lieu of a 5 year agreement. These changes are all acceptable to the Owner.
013	Please clarify budget for this project- \$10 million or \$12 million?	Construction budget is \$12 Million.
014	Please confirm that the General Contractor shall be entitled to a compensable delay in the event the delay is caused by Owner or Owner's Separate Contractors.	Per Section GC3-6 Item F of the General Conditions - "Excusable delays (those beyond Contractor's control) shall not entitle the Contractor to any additional compensation. The sole remedy of the Contractor shall be to seek an extension of time."
015	Would the District consider including a Mutual Waiver of Consequential Damages provision in the Agreement?	A Mutual Waiver of Consequential Damages provision in the Agreement will not be considering during the RFP process.
016	Please clarify if the project is funded by revenue bonds.	The project is not funded by revenue bonds.
017	Reference 1/A7.06, the elevator storefront glazing is noted as 9/16" laminated glazing with a tinted exterior. Please specify what color tint is to be used for the storefront glazing.	Gray
018	Elevations E&W/ A4.07 note for the storage room windows to be aluminum, and detail 3/A7.06 references for these same windows to be hollow metal. Please specify if these windows should be aluminum or hollow metal.	Aluminum frame with fluorocarbon coating. Refer to Specification Section 08 41 13, 2.01.A.1. Finish per 2.04. CG
019	Please specify if the storage room windows per 3/A7.06 are to receive clear, tinted, or one-way glass.	Tinted. Gray to Match Storefront
020	Reference detail 2, sheet E6.1. Detail 2 indicates that the SDG&E secondary conduit is to be concrete encased. SDG&E standards guide reference sections 3370 & 3374 indicate this is not required if installing "DB" type conduit with a single conduit. Please specify if the concrete encasement per sheet E6.1 or if SDG&E standards without concrete encasement are to be followed.	Provide concrete encasement per electrical detail.
021	Reference detail 1, sheet E2.1. Detail 1 indicates that the SDG&E secondary conduit is to (1) 3" conduit. SDG&E standards guide 3942.1 indicates that for a 600 amp service, (2) 4" conduits are required. Please specify if (1) 3" per E2.1 or (2) 4" conduits per SDG&E standards are required.	Provide 2-4" conduits per SDG&E requirements.
022	Reference the Access Control specification 28 13 00, Section 2.2-A-1-a. This specification calls for an NEC Express 5800/320c server, however this serve has been discontinued. Please clarify what server should be provided.	The NEC 5800 series server does not seem to be discontinued per NEC. If so, provide an equal substitution that meets the specs as specified (Min. Intel Xeon 2.6 GHz core, 8GL Logical RAM, etc.).
023	Please advise if it is acceptable to run the access control and CCTV on the same server.	No, the systems shall have dedicated servers.
024	Reference the Video Surveillance specification 28 23 00, Section 2.1-J-9-a. This specification calls out for Axis P3365-V, however this model has been discontinued and is being replaced by the P3375-V. Please confirm this model is an acceptable replacement.	P3375-V is an acceptable replacement.
025	We formally request a bid extension of 2-weeks minimum. This request is being made so that adequate time is provided to ensure accurate and competitive estimates. We feel that this will be best achieved with an extension of the bid date.	Bid date has been revised per Addendum #2.

**TCMC Parking Structure and Main Entry RFI Responses**

026	<p>The phasing plan provided in the bid documents shows the following: Phase 1 – Construction Traffic Ramp, Phase 2 – Surface Parking Spaces, Phase 3 – New Parking Structure, Phase 4 – New Main Entry Drive. During the pre-bid job walk on 6/5/18, Tri-City mentioned that Phase 2 needs to be completed and turned over for Owner use prior to beginning site demolition of the existing parking spaces for the building pad. There are several issues we have identified with this phasing requirement. Most notably, the Construction Documents do not support this phasing plan in regards to demolition, grading, drainage, utilities, site lighting, etc. See below for a few additional complications associated with the phasing as shown. Please confirm this entire phase 2 area will be included in the Contractors work area after NTP issuance.</p> <ul style="list-style-type: none"> <li>* Potential City permitting issues with obtaining occupancy of the parking lot with building permit work still open.</li> <li>* The current phase 2 line drawn is tight up against the North side of the garage. This would eliminate all access for concrete pumps, cranes, forklifts and other men/material/equipment required for safe and efficient construction methods.</li> <li>* Plans currently show a retaining wall ~7' away from the building on the North side. During site grading and footing excavation, the construction area would need to be extended away from the building to allow for retaining wall footing excavation and lay back.</li> <li>* Site lighting and security cameras for the new parking lot appear to be fed from the electrical room and IT room in the new parking structure. This lighting will not be operational prior to the garage electrical room being energized.</li> </ul>	<p>*Confirmed - The Phase II work area will be available for Contractor use at the NTP.</p> <p>*The City is allowing partial occupancy of Phase II while Phase III and IV are being completed.</p> <p>*The Phase II line referenced at the North side has been removed and is now part of Phase III in the updated phasing plan per Addendum #3.</p> <p>*It is acceptable to extend the construction area for a temporary time period to install the retaining wall.</p> <p>*It is acceptable for the lighting to not be operational prior to the garage electrical room being energized. Contractor to provide temporary lighting within the garage as-needed to perform their scope of work.</p>
027	The bidding documents do not appear to contain a soils report for the Project site. Please provide.	Soils report provided in Addendum #1.
028	<p>There is a vacant MOB building shell adjacent to the project site area. Is the parking lot area outside of this building available for any of the following uses?</p> <ul style="list-style-type: none"> <li>* Tri-City staff parking instead of the currently shown "Phase 2 lots"</li> <li>* Contractor parking during construction of the parking structure</li> <li>* Laydown/storage area.</li> </ul>	The MOB building shell is not permitted for use, and the parking spaces designated for it are not available for use.
029	During the job walk, it was mentioned that Tri-City would select the elevator contractor and provide the elevator contact information to the bidders to obtain their proposal. Instead, please advise if acceptable for Tri-City to provide the elevator proposal along with a defined scope to the bidders. This is to ensure the proposals given to the bidders are equivalent (i.e. apples-to-apples). Any additional costs for coordination, etc. can be dealt with between the bidders and the elevator subcontractor as necessary.	Elevator contractor contact information provided in Addendum #2. Contact elevator contractor directly for proposal.
030	Architectural drawings (e.g. A4.02, A6.01) show painted concrete spandrels, upturned beams, columns and painted concrete beams. Please advise if the interior soffits are intended to be painted as well.	Soffits are not intended to be painted
031	Per conversations during the job walk on 6/5/18, it was mentioned that the painting of the exterior would likely be requested as an add alternate. Please advise if this is the intent. If so, please provide an updated bid form.	No alternate for painting of the exterior is requested at this time.
032	Please advise if interior painting shall be carried in the base bid or if this shall be an add alternate as well. If desired as an add alternate, please provide an updated bid form.	Please include interior painting per the Architectural drawings in base bid.
033	Civil sheet CG1.11, on the East side of the site, appears to show a new retaining wall construction in front of the existing stairs down to the parking lot. Please confirm this is the intent and that the access to the bottom of the existing stairs will be lost.	Confirmed
034	Request for Bids IFB-28 states "The Contractor shall procure all permits and licenses, pay all charges, fees, and taxes and give all notices necessary and incidental to the due and lawful prosecution of the Work." In order to ensure all bidders are covering the appropriate permits and license fees would Tri City consider stipulating an amount to be carried as an allowance?	Exclude all costs associated with IFB-28. Owner will pay directly or by Change Order to the Contractor.
035	During the job-walk on 6/5/18, it was mentioned that the Contractor would be responsible to "post the bond to the City" as Tri-City has had challenges with this in the past, being another public entity. Please provide additional information as to what will be required of the Contractor	A Letter of Credit to the City of Oceanside will be needed for both the grading and erosion control work for the cost of the work as specified by the City. A bond to the City of Oceanside will be needed for the grading work for the cost of the work as specified by the City. Samples of the Letter's of Credit and Bond letter are provided in Addendum #3.
036	Item number 22 in the "Project Specifications and Pre-Qualification Information" form states "TCMC is not responsible for extended General Conditions if the work takes longer than Two Hundred and Fifty (260) business days unless there is a change in scope." Please confirm 250 is correct, and confirm this is the duration in business days from NTP issuance to Final Completion as defined in section GC3-10 of the RFB document.	Statement is to encapsulate all business days within one (1) calendar year. To clarify, construction duration from NTP to Final Completion to take no longer than one (1) calendar year.
037	<p>Per the Request for Bids (page 2) and draft Agreement (Section C), the contract duration is stipulated as 250 business days. No definition for "Business Days" could be located in the documents.</p> <ul style="list-style-type: none"> <li>* Please confirm "Business Days" is to mean Monday thru Friday, excluding holidays.</li> <li>* If 1 is confirmed, please specify which holidays are to be considered non-business days.</li> </ul>	Statement is to encapsulate all business days within one (1) calendar year. To clarify, construction duration from NTP to Final Completion to take no longer than one (1) calendar year.

**TCCM Parking Structure and Main Entry RFI Responses**

038	Please reference the two sets of attached Amano McGann product data literature for the Opus and Overture parking control systems and advise if either, or both of these systems may be considered "or equal" to the SKIDATA system listed in specification 11 12 00 – 2.01 – A.	The Overture system is considered as equal to the SKIDATA system.
039	Reference details 3 and 6 per drawing A0.05. Please confirm the temporary construction fencing on the project is not required to have a black powder coat finish as specified and that standard galvanized posts are acceptable.	Black powder coat finish is required per city of Oceanside
040	Reference details 4 and 5 per drawing A0.05. Please confirm the temporary construction fencing on the project is not required to have concrete footings as shown and that standard pneumatically driven posts or posts supported on stands is acceptable.	Fence design is per regional standards.
041	The SKIDATA system does not utilize mag-stripe tickets however: a. Section 1.03 - B-1 states it shall be Machine readable mag-stripe technology b. Section 2.04 - D-4-h states the ability to read mag-stripe tickets within the same hardware. c. Is Mag-Stripe required for the client if SKIDATA is chosen?	Magnetic stripe tickets are not required. Access control, ticket machines and pay stations are to have infrastructure only installed for future use.
042	Onsite validation system - Section F-1-d: Calls for tickets be validated either by follow-up ticket or electronic web-based validations. Which does the site want? Both? One with option for other?	Access control, ticket machines and pay stations are to have infrastructure only installed for future use.
043	Pay on Foot Station - Section G. a. The RFP calls out for our Easy.Cash POF, however for a medical building scenario, I would suggest our new SKIOSK POF with full touch screen display. This will allow a guest to change their one-time use ticket to a multi-day / multi-use ticket. Good for example for family members visiting a patient over multiple days. This is requested in scope but not possible with Easy.Cash This ability is programmed / set by operator. Would you like this in base or shown as option? [TCCM] b. The scope does not call for a QR coder reader as it does for entry and exits. Is this needed at POFs?	Access control, ticket machines and pay stations are to have infrastructure only installed for future use.
044	Section 1.05 - B-2. Please supply information on Building access card provider so the correct reader can be priced.	HCI is the current building access card provider.
045	Training. Number of min hours of training not called out. SKIDATA recommends a min of 16 but some companies offer only eight hours. Please specify requested hours so all bids are apples-to-apples.	IPD: 16 hours if SKIDATA is selected. Otherwise provide what is provided by manufacturer. Comply with 11 12 00, 3.05 regarding training system.
046	Please provide the geotech report for the project.	Geotech report provided in Addendum #1.
047	Will there be a designated onsite area for tradesmen parking?	Tradesmen's parking to be within the Area of Work specified on sheet A0.05.
048	In the prebid job walk it was mentioned that Phase II needed to be completed and able to park cars in. What is the date that this needs to be turned over for parking?	All Phases need to be completed within one calendar year. The only time restraint on Phase II completion is that it must happen before the start of Phase III.
049	In the "Bid Package Offered to GCs", general conditions were included. Please provide a copy of the construction contract for our review.	In the "Bid Package Offered to GCs" the construction contract begins on page 23 of the PDF. Please note that Page 24 of the PDF needs to be signed as part of the bid package submittal.
050	11 12 00 Parking Controls: 2.01.A Manufacturer states "Skidata or approved equal". Is Amano McGann an approved equal?	Amano McGann is an approved equal
051	Sheet L-5 Tree Removal plan does not have the trees numbered. Without the numbering we can't determine which trees remain or are removed.	Refer to Updated Sheet L-5 with the trees numbered.
052	REF: Storage Room Plan 2/A4.07 and Elevations E & W/A4.07 NOTE: Plan and Elevations call for (2) Aluminum Windows at Storage Room REF: Window Details 3 & 4/A7.06 NOTE: Window Details Show Aluminum Storefront Framing (which matches Spec 08 41 13 Section 2.01.A.1. Arcadia AR450 Center-Glazed System). However, these Details call for Hollow Metal Steel Window Frame System.  Clarify: Aluminum Storefront Window Frames or Hollow Metal Steel Frames at Storage Room	IPD. See response to 018
053	REF: Exterior Materials & Finishes Table on Building Elevations Sheet A3.01 NOTE: Material Finish G8 calls for Tinted Laminated Safety Glass REF: Window Details A-2/A7.06 NOTE: Window Details call for 9/16" Laminated Glazing, Tinted Exterior, Clear Interior REF: Spec 08 80 00 Section 2.02.D NOTE: Specification calls for Tinted Glass: Tint over Clear  Clarify: Tint Color/Hue/Type/Spec for Laminated Glazing at Elevator Storefront.	IPD. See response to 017
054	Reference: Project Specifications and Pre-qualification Information, Technical/Install Specifications: items #4: drawing A101 referenced was not issued. Please issue A101.	Refer to Details 2-5 on Sheet A0.05 instead of A101.
055	Contractor responsible for all phasing costs. Reference Phasing Plan provided. Please provide phasing dates we are to meet.	Phases I - IV must be completed within one calendar year. There are no individual date requirements, only sequencing requirements for the Phases. Phase I must be complete before Phase II can start. Phase II must be complete before the start of Phase III and IV. Phase III and IV can happen concurrently or sequentially.

THIS IS THE RECOMMENDED FORM FOR A LETTER OF CREDIT. THE LETTER MUST BE SUBMITTED ON BANK LETTERHEAD.

LETTER OF CREDIT

File No. ADP17-00002 ERO17-00034  
EROSION CONTROL

CITY OF OCEANSIDE  
300 North Coast Highway  
Oceanside, CA 92054

ATTENTION: Steven E. Strapac, City Engineer

REFERENCE: Irrevocable Letter of Credit No. \_\_\_\_\_

Gentleperson's:

We hereby establish our Irrevocable Letter of Credit number \_\_\_\_\_, in the amount of \_\_\_\_\_

\_\_\_\_\_ in favor of the City of Oceanside, a municipal corporation of the State of California, hereinafter referred to as "City", issued in connection with the requirements of Grading Plan/Permit No. \_\_\_\_\_ entered into between City and \_\_\_\_\_, hereinafter referred to as "Principal", covering certain erosion control improvements to be installed or done in or for that certain project known and designated as TRI CITY MEDICAL CENTER by Principal and in accordance with said grading permit.

This Letter of Credit is available to City against City's draft(s) drawn at sight on us when accompanied by:

City's written statement (signed by the City Engineer, City Manager, or City Attorney) certifying that there has been failure of the Principal to faithfully perform the above agreement and further that the amount of the draft accompanying this statement is now due and payable.

Partial drawings are permitted.

All drafts under this Letter of Credit shall be marked "Drawn under Irrevocable Letter of Credit Number \_\_\_\_\_ issued by \_\_\_\_\_"

\_\_\_\_\_  
(Bank and address)

This Letter of Credit expires (1) one year from the date hereof and shall be deemed automatically extended without amendment for a (1) one-year period upon such date and upon each anniversary of such date, unless at least sixty (60) days prior to such date or each anniversary of such date we notify the City Engineer in writing by registered mail that we elect not to so extend this Letter of Credit. Upon receipt by City of such notice City may automatically draw the full amount remaining on this Letter of Credit by a clean draft, with no supporting documents, and Bank will pay City upon receipt of such draft.

We expressly agree with City that all drafts drawn under and in compliance with the terms of this Letter of Credit shall meet with due honor upon presentation. This Letter of Credit is subject to the Uniform Customs and Practices for Documentary Credits, 2007 Rev., published by the International Chamber of Commerce, ICC Publication 600 LF, to the extent it is not inconsistent with applicable laws of the State of California.

Executed by Bank this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

BANK: \_\_\_\_\_  
(name)

BY: \_\_\_\_\_  
(signature of authorized agent)

\_\_\_\_\_  
(Printed name of authorized agent)

Bond No.: \_\_\_\_\_

Premium: \_\_\_\_\_

## GRADING BOND

FILE No. \_\_\_\_\_

GRADING PLAN/PERMIT No. \_\_\_\_\_

### KNOW ALL MEN BY THESE PRESENTS:

That we, \_\_\_\_\_,  
whose mailing address is \_\_\_\_\_  
as Principal, and \_\_\_\_\_  
(Surety Company)  
whose mailing address is \_\_\_\_\_  
organized and existing under the laws of the State Of \_\_\_\_\_ and authorized to act  
as surety in the State of California, as surety are held firmly bound unto the City of Oceanside in  
the sum of \_\_  
lawful money of the United States, for the payment of which sum, well and truly to be  
made, we bind ourselves, jointly and severally, firmly by these presents.

The condition of the foregoing obligation is such that WHEREAS said principal has been  
issued Land Development Permit No. \_\_\_\_\_ and is therein required to perform, construct, and  
provide certain grading, excavation, cut, fill, erosion control, slope planting, landscaping, irrigation  
facilities, storm drains, drainage devices and other improvements as shown on the grading plan  
accompanying the application for the Land Development Permit, which grading plan is made a part of  
said permit; and

WHEREAS, said principal is required to post a bond to guarantee completion of all said  
grading improvements as shown on said grading plan in accordance with City standards and  
specifications and as required by the Oceanside Grading Ordinance.

Bond No. \_\_\_\_\_

**GRADING BOND**

NOW, THEREFORE, if the said principal shall well and truly do and perform all of the covenants and obligations of said permit and plan on his part to be done and performed at the times and in the manner specified herein and in said Grading Ordinance, to the City Engineer's satisfaction and acceptance, then this obligation shall be null and void; otherwise, it shall remain in full force and effect.

IN WITNESS WHEREOF, this instrument has been duly executed by the Principal and Surety above named on this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

PRINCIPAL

SURETY

\_\_\_\_\_  
Name

\_\_\_\_\_  
Name

By \_\_\_\_\_

By \_\_\_\_\_

By \_\_\_\_\_

By \_\_\_\_\_  
Attorney-in-Fact

\_\_\_\_\_  
Address

\_\_\_\_\_  
Address

\_\_\_\_\_  
Telephone

\_\_\_\_\_  
Telephone

**THIS DOCUMENT REQUIRES TWO NOTARIZED SIGNATURES FOR PRINCIPAL AND ONE FOR SURETY OR PROOF OF AUTHORIZATION FOR A SINGLE SIGNATOR BY PRINCIPAL. PLEASE TYPE NAME AND TITLE OF EACH SIGNEE UNDERNEATH THE SIGNATURE LINE USED.**



THIS IS THE RECOMMENDED FORM FOR A LETTER OF CREDIT. THE LETTER MUST BE SUBMITTED ON BANK LETTERHEAD.

**LETTER OF CREDIT**

File No.

**GRADING**

**TRI CITY MEDICAL CENTER**

CITY OF OCEANSIDE  
300 North Coast Highway  
Oceanside, CA 92054

ATTENTION: Steven E. Strapac, City Engineer

REFERENCE: Irrevocable Letter of Credit No. \_\_\_\_\_

Gentleperson's:

We hereby establish our Irrevocable Letter of Credit number \_\_\_\_\_, in the amount of \_\_\_\_\_

U.S. Dollars (\_\_\_\_\_ in favor of the City of Oceanside, a municipal corporation of the State of California, hereinafter referred to as "City", issued in connection with the requirements of Grading Plan/Permit No. C entered into between City and \_\_\_\_\_, hereinafter referred to as "Principal", covering certain grading and drainage improvements to be installed or done in or for that certain project known and designated as TRI CITY MEDICAL CENTER by Principal and in accordance with said grading permit.

This Letter of Credit is available to City against City's draft(s) drawn at sight on us when accompanied by:

City's written statement (signed by the City Engineer, City Manager, or City Attorney) certifying that there has been failure of the Principal to faithfully perform the above agreement and further that the amount of the draft accompanying this statement is now due and payable.

Partial drawings are permitted.

All drafts under this Letter of Credit shall be marked "Drawn under Irrevocable Letter of Credit Number \_\_\_\_\_ issued by

\_\_\_\_\_  
(Bank and address)

ENG/PD/057/5

This Letter of Credit expires (1) one year from the date hereof and shall be deemed automatically extended without amendment for a (1) one-year period upon such date and upon each anniversary of such date, unless at least sixty (60) days prior to such date or each anniversary of such date we notify the City Engineer in writing by registered mail that we elect not to so extend this Letter of Credit. Upon receipt by City of such notice City may automatically draw the full amount remaining on this Letter of Credit by a clean draft, with no supporting documents, and Bank will pay City upon receipt of such draft.

We expressly agree with City that all drafts drawn under and in compliance with the terms of this Letter of Credit shall meet with due honor upon presentation. This Letter of Credit is subject to the Uniform Customs and Practices for Documentary Credits, 2007 Rev., published by the International Chamber of Commerce, ICC Publication 600LF, to the extent it is not inconsistent with applicable laws of the State of California.

Executed by Bank this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

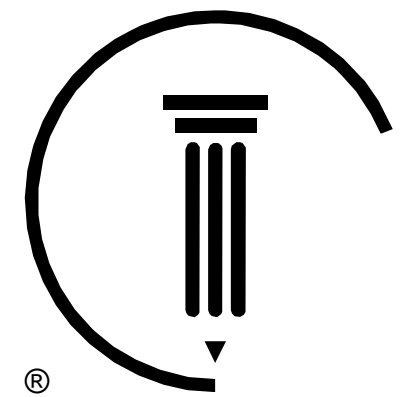
BANK: \_\_\_\_\_  
(name)

BY: \_\_\_\_\_  
(signature of authorized agent)

\_\_\_\_\_  
(Printed name of authorized agent)

By: \_\_\_\_\_  
Assistant City Attorney





CUNNINGHAM  
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Consultant

Revisions		
No.	Date	Description

Document Phase:	DD
Date:	NOV 2017
PIC / AIC:	PS
Drawn By:	Author
Checked By:	Checker
Comm. No.:	PR17-0311

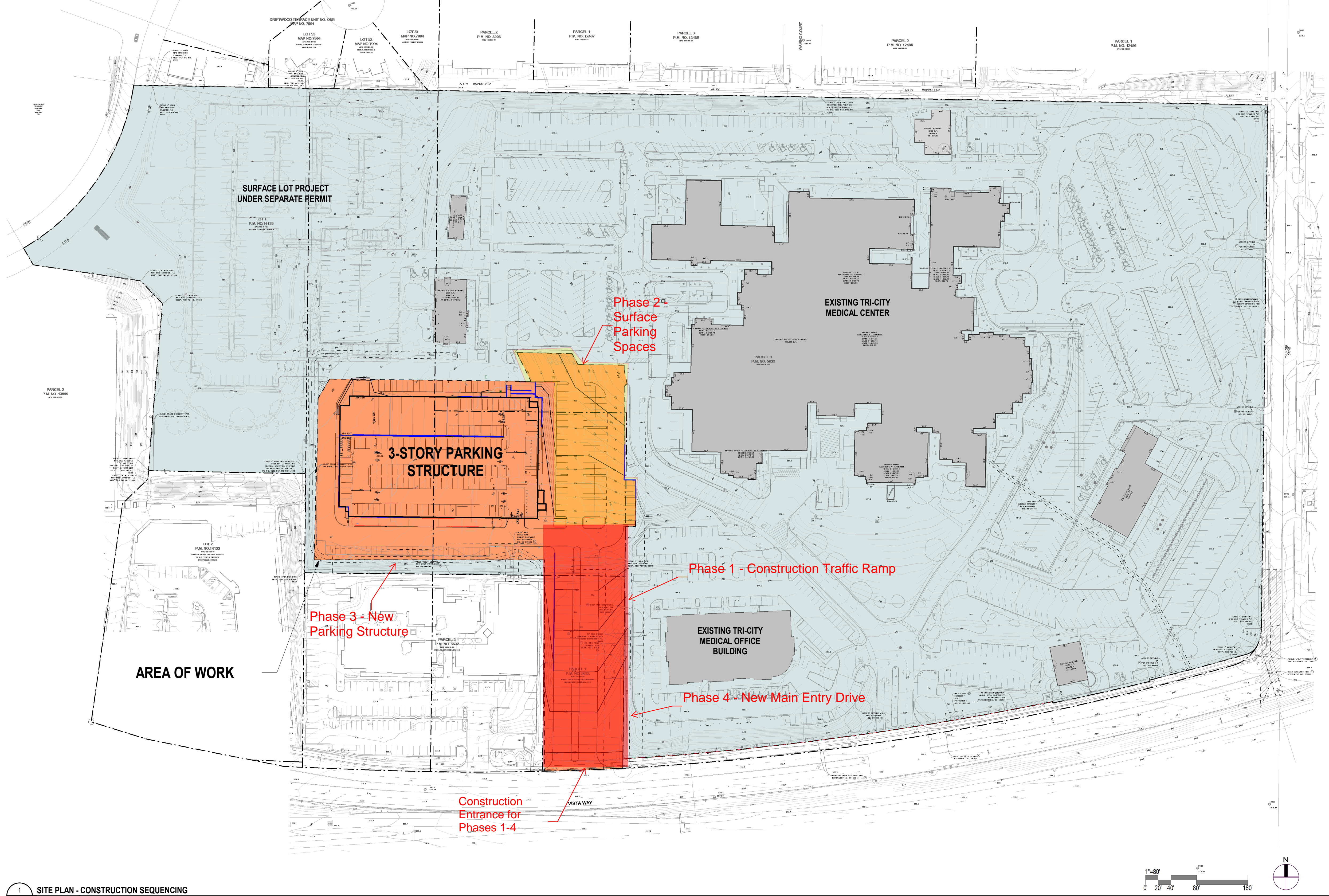
Project Title  
**TCMC PARKING  
STRUCTURE**

Sheet Title  
**SITE PLAN - PARKING  
STRUCTURE  
CONSTRUCTION  
SEQUENCING**

Sheet Number

A103

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1 SITE PLAN - CONSTRUCTION SEQUENCING  
A103 1" = 80'-0"

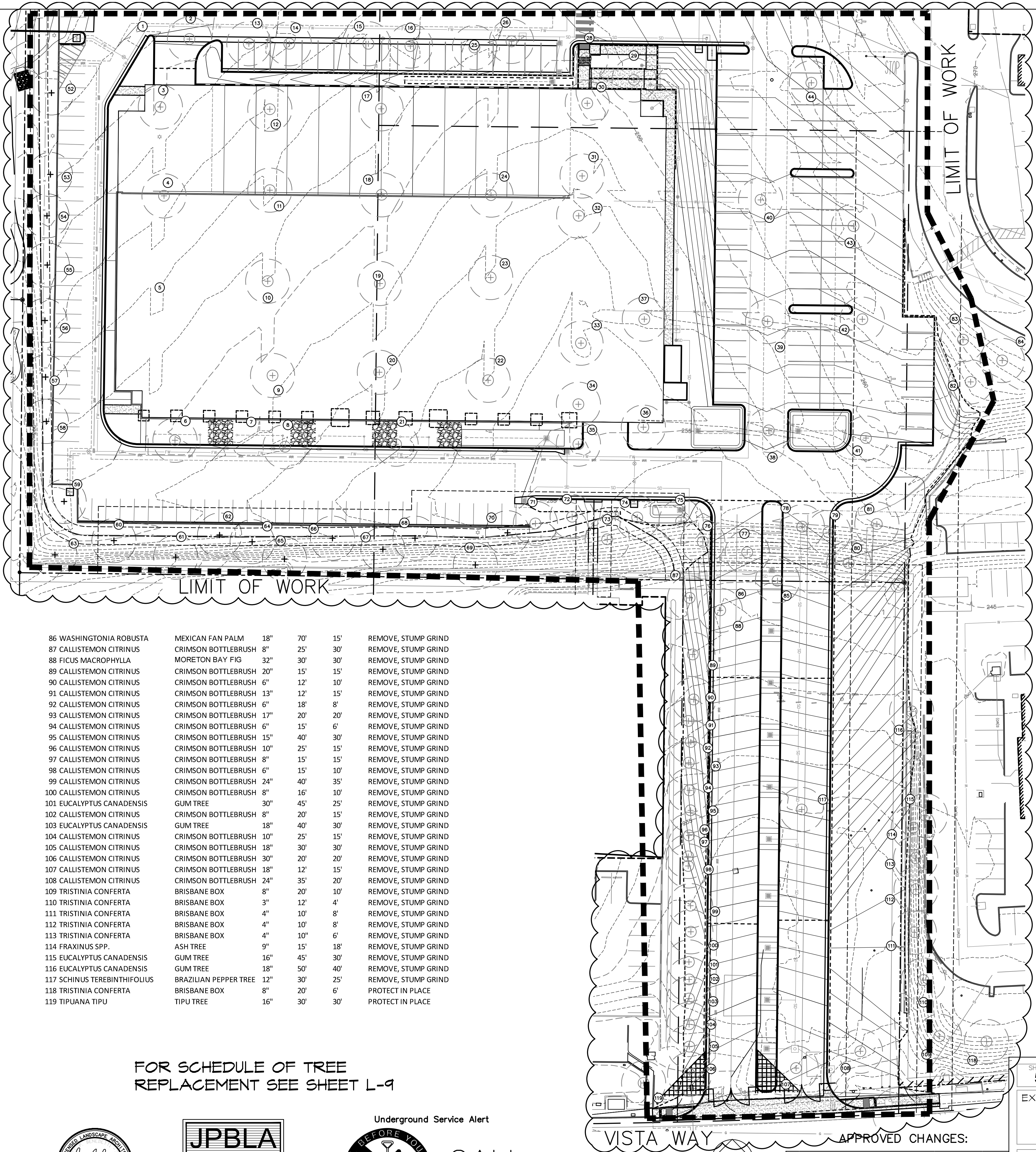
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12/4/2017 11:12:53 PM



EXISTING TREE LEGEND

TREE NO.	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT	SPREAD	COMMENTS
1	PINUS RAIDIATA	PINE TREE	22"	20'	20'	REMOVE, STUMP GRIND
2	PINUS RAIDIATA	PINE TREE	20"	20'	20'	REMOVE, STUMP GRIND
3	PINUS RAIDIATA	PINE TREE	17"	20'	15'	REMOVE, STUMP GRIND
4	PINUS RAIDIATA	PINE TREE				ALREADY REMOVED
5	PINUS RAIDIATA	PINE TREE				ALREADY REMOVED
6	PINUS RAIDIATA	PINE TREE	23"	20'	25'	REMOVE, STUMP GRIND
7	PINUS RAIDIATA	PINE TREE	25"	25'	25'	REMOVE, STUMP GRIND
8	PINUS RAIDIATA	PINE TREE	19"	20'	20'	REMOVE, STUMP GRIND
9	PINUS RAIDIATA	PINE TREE	24"	15'	15'	REMOVE, STUMP GRIND
10	PINUS RAIDIATA	PINE TREE	26"	20'	25'	REMOVE, STUMP GRIND
11	PINUS RAIDIATA	PINE TREE	22"	20'	25'	REMOVE, STUMP GRIND
12	PINUS RAIDIATA	PINE TREE	30"	25'	30'	REMOVE, STUMP GRIND
13	PINUS RAIDIATA	PINE TREE	14"	20'	15'	REMOVE, STUMP GRIND
14	PINUS RAIDIATA	PINE TREE	16"	15'	15'	REMOVE, STUMP GRIND
15	PINUS RAIDIATA	PINE TREE	20"	20'	20'	REMOVE, STUMP GRIND
16	PINUS RAIDIATA	PINE TREE	18"	20'	15'	REMOVE, STUMP GRIND
17	PINUS RAIDIATA	PINE TREE	24"	25'	25'	REMOVE, STUMP GRIND
18	PINUS RAIDIATA	PINE TREE	21"	25'	20'	REMOVE, STUMP GRIND
19	PINUS RAIDIATA	PINE TREE	22"	20'	20'	REMOVE, STUMP GRIND
20	PINUS RAIDIATA	PINE TREE	18"	20'	18'	REMOVE, STUMP GRIND
21	PINUS RAIDIATA	PINE TREE	20"	25'	20'	REMOVE, STUMP GRIND
22	PINUS RAIDIATA	PINE TREE	30"	30'	25'	REMOVE, STUMP GRIND
23	PINUS RAIDIATA	PINE TREE	20"	25'	25'	REMOVE, STUMP GRIND
24	PINUS RAIDIATA	PINE TREE	18"	25'	25'	REMOVE, STUMP GRIND
25	PINUS RAIDIATA	PINE TREE	20"	20'	20'	REMOVE, STUMP GRIND
26	PINUS RAIDIATA	PINE TREE	15"	25'	20'	REMOVE, STUMP GRIND
27	PINUS RAIDIATA	PINE TREE	23"	30'	25'	PROTECT IN PLACE
28	PINUS RAIDIATA	PINE TREE	27"	35'	20'	REMOVE, STUMP GRIND
29	PINUS RAIDIATA	PINE TREE	24"	30'	20'	REMOVE, STUMP GRIND
30	PINUS RAIDIATA	PINE TREE	21"	26'	22'	REMOVE, STUMP GRIND
31	PINUS RAIDIATA	PINE TREE	15"	15'	20'	REMOVE, STUMP GRIND
32	PINUS RAIDIATA	PINE TREE	17"	20'	15'	REMOVE, STUMP GRIND
33	PINUS RAIDIATA	PINE TREE	24"	30'	25'	REMOVE, STUMP GRIND
34	PINUS RAIDIATA	PINE TREE	20"	20'	25'	REMOVE, STUMP GRIND
35	PINUS RAIDIATA	PINE TREE	20"	30'	15'	REMOVE, STUMP GRIND
36	PINUS RAIDIATA	PINE TREE	24"	30'	25'	REMOVE, STUMP GRIND
37	PINUS RAIDIATA	PINE TREE	27"	35'	30'	REMOVE, STUMP GRIND
38	PINUS RAIDIATA	PINE TREE	34"	30'	20'	REMOVE, STUMP GRIND
39	PINUS RAIDIATA	PINE TREE	36"	35'	35'	REMOVE, STUMP GRIND
40	PINUS RAIDIATA	PINE TREE	30"	35'	30'	REMOVE, STUMP GRIND
41	PINUS RAIDIATA	PINE TREE	24"	30'	25'	REMOVE, STUMP GRIND
42	PINUS RAIDIATA	PINE TREE	28"	25'	15'	REMOVE, STUMP GRIND
43	PINUS RAIDIATA	PINE TREE	20"	25'	15'	REMOVE, STUMP GRIND
44	PINUS RAIDIATA	PINE TREE	22"	20'	25'	REMOVE, STUMP GRIND
45	PLATANUS RACEMOSA	SYCAMORE TREE	15"	25'	20'	PROTECT IN PLACE
46	PLATANUS RACEMOSA	SYCAMORE TREE	15"	35'	15'	PROTECT IN PLACE
47	PLATANUS RACEMOSA	SYCAMORE TREE	15"	45'	18'	PROTECT IN PLACE
48	PLATANUS RACEMOSA	SYCAMORE TREE	15"	45'	20'	PROTECT IN PLACE
49	EUCALYPTUS CANADENSIS	GUM TREE	24"	50'	40'	PROTECT IN PLACE
50	EUCALYPTUS CANADENSIS	GUM TREE	18"	45'	30'	PROTECT IN PLACE
51	EUCALYPTUS CANADENSIS	GUM TREE	16"	45'	35'	PROTECT IN PLACE
52	EUCALYPTUS CANADENSIS	GUM TREE	10"	25'	10'	PROTECT IN PLACE
53	EUCALYPTUS CANADENSIS	GUM TREE	12"	35'	15'	PROTECT IN PLACE
54	EUCALYPTUS CANADENSIS	GUM TREE	18"	35'	20'	PROTECT IN PLACE
55	EUCALYPTUS CANADENSIS	GUM TREE	12"	35'	20'	PROTECT IN PLACE
56	EUCALYPTUS CANADENSIS	GUM TREE	12"	35'	15'	PROTECT IN PLACE
57	EUCALYPTUS CANADENSIS	GUM TREE	12"	30'	20'	PROTECT IN PLACE
58	EUCALYPTUS CANADENSIS	GUM TREE	18"	40'	20'	PROTECT IN PLACE
59	EUCALYPTUS CANADENSIS	GUM TREE	24"	40'	25'	PROTECT IN PLACE
60	EUCALYPTUS CANADENSIS	GUM TREE	15"	50'	30'	PROTECT IN PLACE
61	EUCALYPTUS CANADENSIS	GUM TREE	20"	50'	40'	PROTECT IN PLACE
62	EUCALYPTUS CANADENSIS	GUM TREE	18"	50'	20'	PROTECT IN PLACE
63	EUCALYPTUS CANADENSIS	GUM TREE	13"	35'	30'	PROTECT IN PLACE
64	EUCALYPTUS CANADENSIS	GUM TREE	12"	35'	20'	PROTECT IN PLACE
65	EUCALYPTUS CANADENSIS	GUM TREE	20"	50'	30'	PROTECT IN PLACE
66	EUCALYPTUS CANADENSIS	GUM TREE	24"	55'	25'	PROTECT IN PLACE
67	EUCALYPTUS CANADENSIS	GUM TREE	21"	50'	40'	PROTECT IN PLACE
68	EUCALYPTUS CANADENSIS	GUM TREE	14"	40'	25'	PROTECT IN PLACE
69	EUCALYPTUS CANADENSIS	GUM TREE	24"	60'	40'	PROTECT IN PLACE
70	EUCALYPTUS CANADENSIS	GUM TREE	16"	60'	20'	PROTECT IN PLACE
71	EUCALYPTUS CANADENSIS	GUM TREE	18"	50'	20'	PROTECT IN PLACE
72	EUCALYPTUS CANADENSIS	GUM TREE	16"	40'	15'	PROTECT IN PLACE
73	EUCALYPTUS CANADENSIS	GUM TREE	20"	50'	30'	PROTECT IN PLACE
74	EUCALYPTUS CANADENSIS	GUM TREE	18"	40'	30'	PROTECT IN PLACE
75	EUCALYPTUS CANADENSIS	GUM TREE	10"	30'	15'	PROTECT IN PLACE
76	EUCALYPTUS CANADENSIS	GUM TREE	17"	55'	25'	REMOVE, STUMP GRIND
77	EUCALYPTUS CANADENSIS	GUM TREE	18"	60'	30'	REMOVE, STUMP GRIND
78	EUCALYPTUS CANADENSIS	GUM TREE	16"	50'	20'	REMOVE, STUMP GRIND
79	EUCALYPTUS CANADENSIS	GUM TREE	18"	50'	45'	REMOVE, STUMP GRIND
80	EUCALYPTUS CANADENSIS	GUM TREE	18"	60'	30'	REMOVE, STUMP GRIND
81	EUCALYPTUS CANADENSIS	GUM TREE	16"	45'	35'	REMOVE, STUMP GRIND
82	ERYTHRINA CAFFRA	CORAL TREE	32"	25'	25'	REMOVE, STUMP GRIND
83	ERYTHRINA CAFFRA	CORAL TREE	48"	25'	25'	REMOVE, STUMP GRIND
84	ERYTHRINA CAFFRA	CORAL TREE	40"	25'	22'	REMOVE, STUMP GRIND
85	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	22"	70'	15'	REMOVE, STUMP GRIND



86	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	18"	70'	15'	REMOVE, STUMP GRIND
87	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	8"	25'	30'	REMOVE, STUMP GRIND
88	FICUS MACROPHYLLA	MORETON BAY FIG	32"	30'	30'	REMOVE, STUMP GRIND
89	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	20"	15'	15'	REMOVE, STUMP GRIND
90	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	6"	12'	10'	REMOVE, STUMP GRIND
91	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	13"	12'	15'	REMOVE, STUMP GRIND
92	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	6"	18'	8'	REMOVE, STUMP GRIND
93	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	17"	20'	20'	REMOVE, STUMP GRIND
94	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	6"	15'	6'	REMOVE, STUMP GRIND
95	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	15"	40'	30'	REMOVE, STUMP GRIND
96	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	10"	25'	15'	REMOVE, STUMP GRIND
97	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	8"	15'	15'	REMOVE, STUMP GRIND
98	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	6"	15'	10'	REMOVE, STUMP GRIND
99	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	24"	40'	35'	REMOVE, STUMP GRIND
100	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	8"	16'	10'	REMOVE, STUMP GRIND
101	EUCALYPTUS CANADENSIS	GUM TREE	30"	45'	25'	REMOVE, STUMP GRIND
102	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	8"	20'	15'	REMOVE, STUMP GRIND
103	EUCALYPTUS CANADENSIS	GUM TREE	18"	40'	30'	REMOVE, STUMP GRIND
104	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	10"	25'	15'	REMOVE, STUMP GRIND
105	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	18"	30'	30'	REMOVE, STUMP GRIND
106	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	30"	20'	20'	REMOVE, STUMP GRIND
107	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	18"	12'	15'	REMOVE, STUMP GRIND
108	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	24"	35'	20'	REMOVE, STUMP GRIND
109	TRISTINIA CONFERTA	BRISBANE BOX	8"	20'	10'	REMOVE, STUMP GRIND
110	TRISTINIA CONFERTA	BRISBANE BOX	3"	12'	4'	REMOVE, STUMP GRIND
111	TRISTINIA CONFERTA	BRISBANE BOX	4"	10'	8'	REMOVE, STUMP GRIND
112	TRISTINIA CONFERTA	BRISBANE BOX	4"	10'	8'	REMOVE, STUMP GRIND
113	TRISTINIA CONFERTA	BRISBANE BOX	4"	10'	6'	REMOVE, STUMP GRIND
114	FRAXINUS SPP.	ASH TREE	9"	15'	18'	REMOVE, STUMP GRIND
115	EUCALYPTUS CANADENSIS	GUM TREE	16"	45'	30'	REMOVE, STUMP GRIND
116	EUCALYPTUS CANADENSIS	GUM TREE	18"	50'	40'	REMOVE, STUMP GRIND
117	SCHINUS TEREBINTHIFOLIUS	BRAZILIAN PEPPER TREE	12"	30'	25'	REMOVE, STUMP GRIND
118	TRISTINIA CONFERTA	BRISBANE BOX	8"	20'	6'	PROTECT IN PLACE
119	TIPUANA TIPU	TIPU TREE	16"	30'	30'	PROTECT IN PLACE

FOR SCHEDULE OF TREE REPLACEMENT SEE SHEET L-9



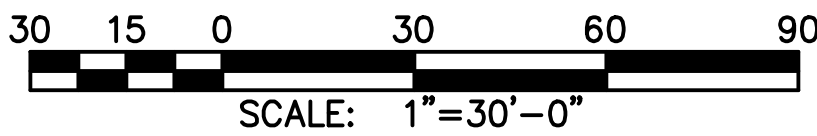
**JPBLA**  
JAMES P. BENEDETTI  
LANDSCAPE ARCHITECT  
4403 MANCHESTER AVE. STE. 201  
ENCINITAS, CA 92024  
760/479-0644 FAX 760/479-0645



Underground Service Alert

CALL  
811

TWO WORKING DAYS BEFORE YOU DIG



APPROVED CHANGES:

NO.	DESCRIPTION	APP'VD	DATE
1	EX TREE NO.S ADDED - JPBLA		6.25.18

△ 6.25.18

SHEET 5	CITY OF OCEANSIDE ENGINEERING DIVISION	16 SHEETS
EXISTING TREE SURVEY		D17-00020
TRI CITY MEDICAL CENTER		
POINT OF CONTRACT - FOR CITY REFERENCE		
LANDSCAPE ARCHITECT OF WORK JAMES P. BENEDETTI R.L.A. #3058	Checked By: Approval Date:	PLAN NUMBER L18-00001

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